

JOHN GRACE ARMS

21030 INDIAN ST.
SOUTHFIELD, MI 48033



DEVELOPED BY
JOHN GRACE ARMS LDHA LLC

PROJECT TEAM:

ARCHITECT:
SDG ASSOCIATES, LLC

607 SHELBY STREET
SUITE 704
DETROIT, MI 48226
PH: 313.961.9000
FAX: 313.964.3233

CIVIL ENGINEERS:
SPALDING DEDECKER ENGINEERS

905 SOUTH BOULEVARD EAST
ROCHESTER HILLS, MICHIGAN 48307
PH: 800-598-1600
INFO@SDA-ENG.COM

STRUCTURAL ENGINEERS:
IMEG

33533 W. TWELVE MILE
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FARMINGTON HILLS, MI 48331
PH: 248-344-2800
FAX: 248-344-1650

M.E.P. ENGINEERS:
A&A ENGINEERING & CONSULTING

28862 VISTA WAY
SOUTH LYON, MICHIGAN 48178
PH: 419-303-8503
SHENNARD@AAENGINEERCO.COM

PRESERVATION CONSULTANT:
KIDORF PRESERVATION CONSULTING

451 E. FERRY STREET
DETROIT, MICHIGAN 48202
PH: 313-300-9376
KRISTINE@KIDORFPRESERVATIONCONSULTING.COM

John Grace Arms
21030 Indian St, Southfield MI 48033
Developed by
John Grace Arms LDHA LLC

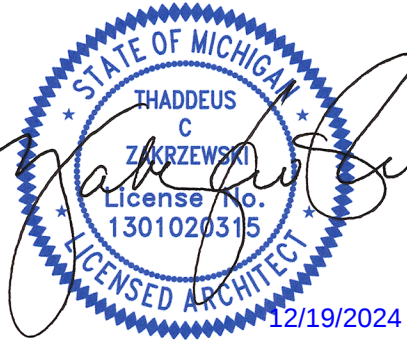
SDG
Architects + Planners
607 Shelby Street
Suite 704
Detroit, MI 48226
Tel: 313-961-9000
Fax: 313-964-3233

LOCATION MAP (NTS)



REGISTRATION SEAL

KEY PLANS

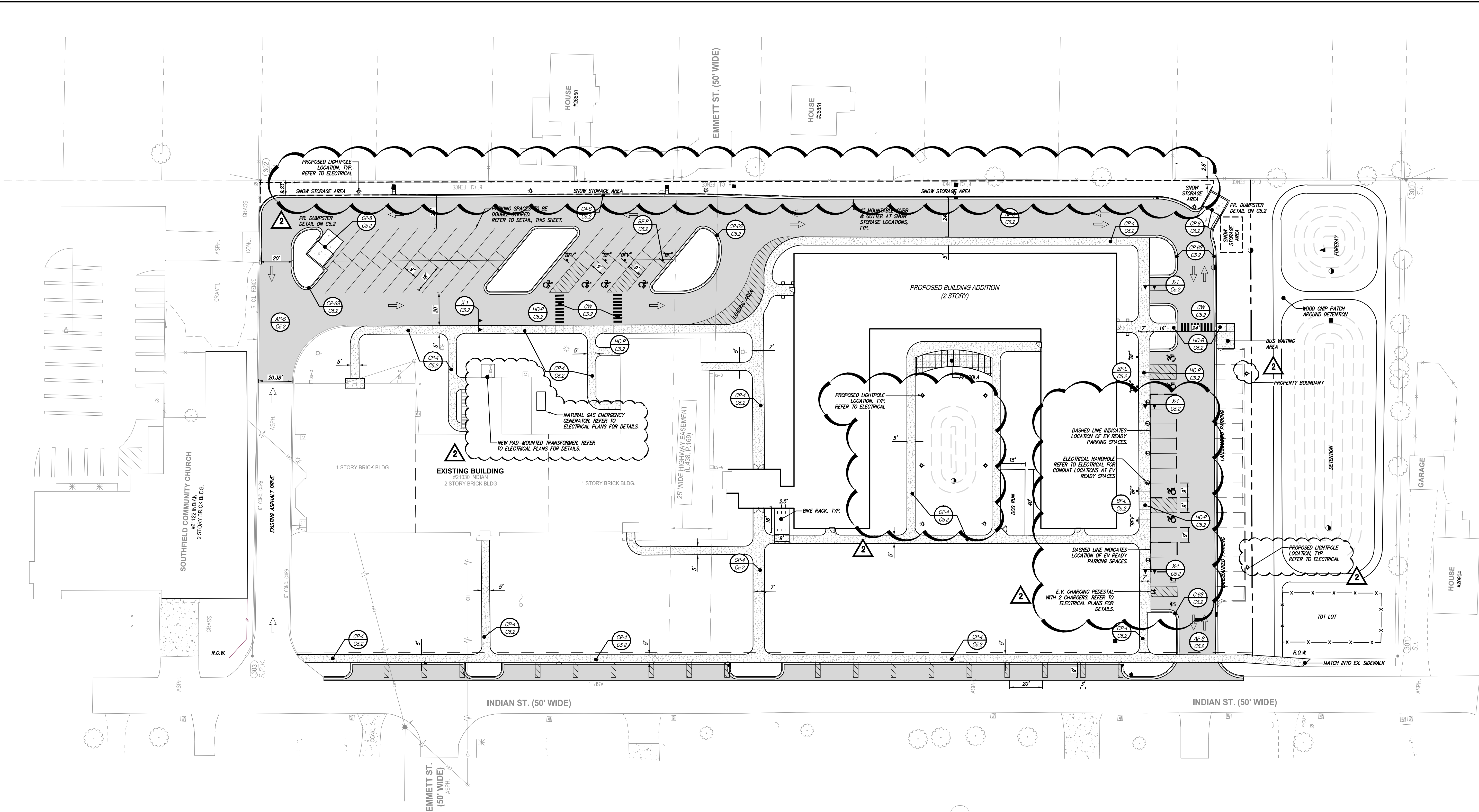


SHEET TITLE
TITLE SHEET

SCALE:	
ISSUED FOR	DATE
Review	03.28.2024
Permits	04.12.2024
For Permit	10.25.2024
Bulletin No. 1	02.19.2025
Bulletin No. 2	03.05.2025

EBH
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JA
21026.00
COVER

Plotted Mar 7, 2025, 5:51 AM by user: 1111 - Saved: 3/7/2025 by user: 1111
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PAVING CONSTRUCTION NOTES

- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
- THE FINAL SUBGRADE SHALL BE THOROUGHLY PROFFROLLED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
- ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY NO LESS THAN 97 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
- A BOND COAT OF SS-1H EMULSION IS REQUIRED BETWEEN THE LEVELING COURSE AND THE WEARING COURSE WHEN OTHER 24 HOURS HAVE ELAPSED BETWEEN PLACEMENT OF THE BITUMINOUS COURSES OR THE SURFACE OF THE PAVEMENT HAS BEEN CONTAMINATED WITH DIRT, DUST, OR FOREIGN MATERIAL. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.1 GALLONS/S.Y. IN THE EVENT A BOND COAT IS NOT REQUIRED, THE LEVELING COURSE MAY REQUIRE LOCALIZED BROOM CLEANING.
- PERFORMANCE GRADE PG64-22 ASPHALT CEMENT SHALL BE USED IN THE PRODUCTION OF ALL BITUMINOUS MIXTURES. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE ALLOWED ONLY AS SPECIFIED BY THE CURRENT MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, UNLESS NOTED ON THE PROJECT DETAILS.
- CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY.
- TAPER CURB HEIGHT DOWN TO ZERO HEIGHT IN FIVE FEET AT ALL CURB ENDINGS UNLESS OTHERWISE NOTED ON THE PLAN.
- WHERE CURB AND GUTTER SECTION IS ADJACENT TO A HANDICAP RAMP, DROP CURB HEIGHT TO MAXIMUM 1/4" ACROSS THE RAMP OPENING.
- RESTRIPE PARKING LOTS AS SHOWN, USING 4" PAVEMENT MARKING - BLUE FOR RESERVED SPACES, YELLOW FOR STANDARD SPACES. IF NEW PARKING LAYOUT IS NOT INDICATED, MATCH ORIGINAL STRIPING PATTERN.
- DIRECTIONAL ARROW PAVEMENT MARKINGS AND PAVEMENT MARKING LETTERING WHERE INDICATED SHALL BE WHITE PREFORMED THERMOPLASTIC UNLESS OTHERWISE NOTED. INSTALLATION OF THESE PERMANENT PAVEMENT MARKINGS SHALL BE PERFORMED PER THE MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION SECTIONS 811 AND 920.
- CONTRACTOR SHALL PROTECT EXISTING CURB, GUTTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
- PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), CURB, OR EXISTING CONCRETE PAVEMENT. PLACE SILICONE JOINT SEALANT ON ALL EXPANSION JOINTS.
- CONTRACTOR TO CONSTRUCT CONTRACTION AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOOLED WHERE SIDEWALK WIDTH IS 8' OR LESS, AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8' SPACING FOR 8' WIDE WALKS), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH SILICONE JOINT SEALANT AT MAXIMUM 50' SPACING. CONTRACTOR SHALL GENERALLY MATCH THE JOINT PATTERNS FOR CONCRETE PAVEMENT WHEN SHOWN ON THE PLANS.
- WHERE THESE PLANS DIFFER FROM THE STANDARD DETAILS OR STANDARD SPECIFICATIONS OF THE COMMUNITY, THE COMMUNITY REQUIREMENTS SHALL GOVERN.
- CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR MOOT GRADE 4000 CONCRETE PER THE CURRENT MOOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

LEGEND

---	PROPOSED WATERMAIN	●	PROPOSED SAN MANHOLE (SAN)
---	PROPOSED SANITARY	●	PROPOSED STORM MANHOLE (MH)
---	PROPOSED STORM SEWER	■	PROPOSED CATCH BASIN (CB)
---	PROPOSED GAS MAIN	▲	PROPOSED INLET (INL)
---	PROPOSED ELECTRIC	▶	PROPOSED END SECTION (ES)
●	PROPOSED HYDRANT	⊕	PROPOSED FIELD CATCH BASIN (FCB) W/RETAINING COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
⊗	PROPOSED GATE VALVE & WELL (GVW)	②	UTILITY CROSSING (SEE DATA TABLE)
⊗	PROPOSED TAPPING SLEEVE VALVE & WELL (TSVW)	CB	STRUCT. TYPE
		2	STRUCT. NO.
■	STANDARD BITUMINOUS PAVEMENT	20	
■	HEAVY-DUTY BITUMINOUS PAVEMENT	10	STRUCT. TYPE
■	DEEP-STRENGTH BITUMINOUS PAVEMENT	XXX	STRUCT. TYPE
■	CONCRETE PAVEMENT		
■	CONCRETE SIDEWALK		
■	MILL PAVEMENT		
■	STORM SEWER STRUCTURE		
■	SANITARY SEWER STRUCTURE		
■	WATERMAIN STRUCTURE		

SIGN LEGEND

"CS" - RESERVED PARKING ONLY
"TSV" - RESERVED PARKING ONLY VAN ACCESSIBLE
"ST" - STOP

ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT M.M.U.T.C.D. AND THE MOOT TRAFFIC AND SAFETY SIGN SUPPORT STANDARD PLANS.

905 South Blvd. East
Rochester Hills, MI 48307
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Fax (313) 305-9121

27333 Meadowbrook Rd., Suite 210
Novi, MI 48377
Phone (248) 844-6274

400 Ann St. NW, Suite 204
Grand Rapids, MI 49504
Phone (616) 885-5802

www.sda-eng.com
(800) 598-1600



0' 30' 60'
SCALE: 1" = 30'

CLIENT:

JOHN GRACE ARMS LIMITED HOUSING
26000 EVERGREEN ROAD
P.O. BOX 2055
SOUTHFIELD, MI 48037-2055



PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. UNDERGROUND UTILITIES WHICH ARE ON PRIVATE PROPERTY ARE USUALLY NOT DELINEATED UPON A UTILITY COMPANY'S PUBLISHED PLANS. THEIR LOCATION, IF SHOWN UPON THIS SURVEY, ARE APPROXIMATED FROM FOUND PAINT MARKS/STAKES, ETC. AS LOCATED BY THIS FIRM FROM SOURCES WHICH ARE UNKNOWN. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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JOHN GRACE ARMS

CONSTRUCTION PLANS Paving Plan

SECTION 31

TOWN 01N RANGE 10E

CITY OF SOUTHFIELD

OAKLAND COUNTY

NO.	DATE	REVISION
1	03-04-2024	OWNER REVIEW
2	03-22-2024	PAGE TURN
3	03-29-2024	REV. OWNER REVIEW
4	10-25-2024	PERMIT
5	12-13-2024	HUD SUBMISSION
6	12-20-2024	PERMIT
7	02-19-2025	 BULLETIN NO. 1
8	03-07-2025	 BULLETIN NO. 2

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

DRAWN BY	DATE
J. CHRISTOPHER	24-01-26
CHECKED BY	DATE
J. CHRISTOPHER	24-01-26
PROJECT MANAGER	BID PLAN DATE
T. SOVEL	
DEPARTMENT MANAGER APPROVAL	DATE
JOB NO.	DRAWING NO.
NP22006	NP22006PAV
SCALE:	SHEET NO.
1" = 30'	C5.1

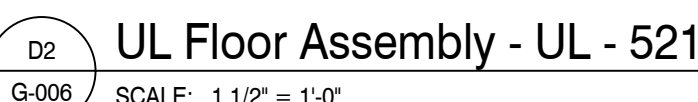
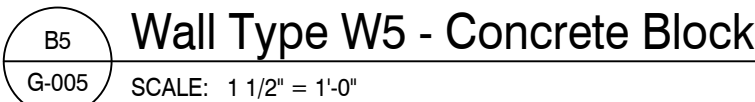
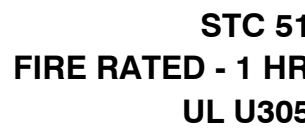
REGISTRATION SEAL

KEY PLANS

Addition Assemblies

FILE NO.

SHEET NO.



UL Specification - UL #L521

D2 UL Floor Assembly - UL - 521
G-006 SCALE: 1 1/2" = 1'-0"

D3 UL Specification - UL #U305
G-006 SCALE: No Scale

REGISTRATION SEAL

KEY PLANS

SHEET TITLE

1st Floor Plan

SCALE:

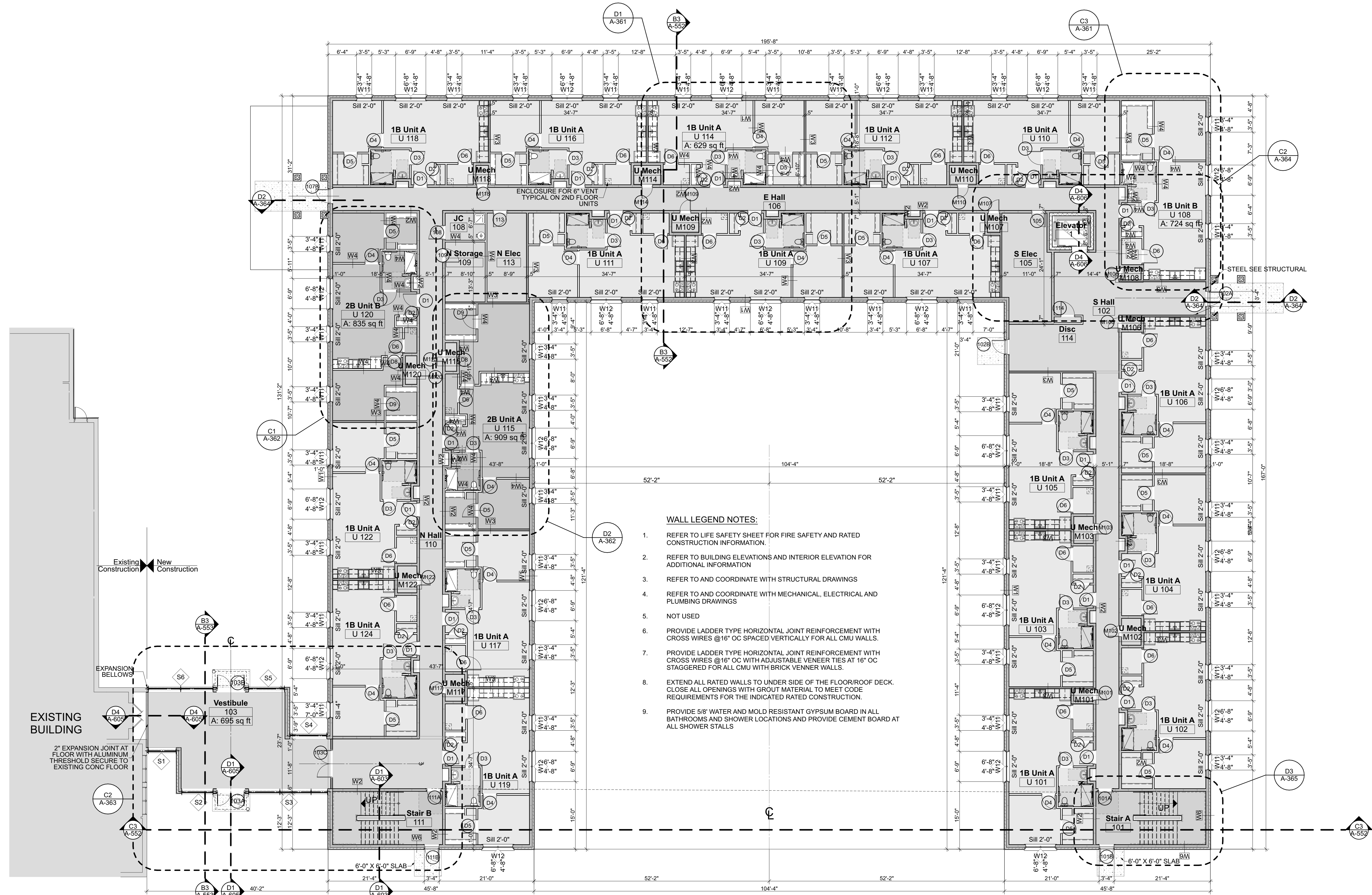
ISSUED FOR	DATE
HUD Submission	12.13.2024
PERMIT	12.20.2024
BULLETIN #1	02.19.2025
BULLETIN #2	03.05.2025

DRAWN BY
CHECKED
APPROVED

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A-301

SHEET NO.



Wall Types

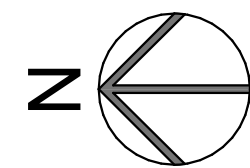
W1 Exterior Wall Brick and Wood Stud
4" Brick
1/8" Air Space
2" Zip Sheathing R-9
2x6 @16" OC with R19 (6") Batt Insulation
5/8" Type X Gyp Bd.

W2 Interior Corridor Wall
1 Hour STC 51
UL U305
5/8" Type X Gyp Bd on
1/2" Resilient Channel
2x6 @16" OC with R-21 (6") Batt Insulation on
5/8" Type X Gyp Bd
A bead of acoustical sealant shall be applied around the partition perimeter for sound control.
Assembly to be continuous from the floor to the deck above. On the first floor to the 2nd floor deck, and on the 2nd floor to the roof deck.

W3 Interior Unit to Unit Wall
1 Hour STC 51
UL U305
5/8" Type X Gyp Bd on
1/2" Resilient Channel
2x4 @16" OC with R-21 (6") Batt Insulation on
5/8" Type X Gyp Bd
A bead of acoustical sealant shall be applied around the partition perimeter for sound control.
Assembly to be continuous from the floor to the deck above. On the first floor to the 2nd floor deck, and on the 2nd floor to the roof deck.

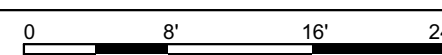
W4 Typical Interior Partition:
5/8" Gyp Bd both sides on 2x4 @ 16" OC
W5 Interior CMU Wall:
5/8" Gyp Bd. on 1/2" Resilient Channels on 8" CMU

W6 Exterior stair Wall:
4" Brick masonry with air space
2" Zip Sheathing R-9
2x6 @16" OC with Batt Insulation R-21 with 5/8" Gyp Bd.



1st Floor Plan

SCALE: 3/32" = 1'-0"



Wall Types

W1 Exterior Wall Brick and Wood Stud
4" Brick
1/8" Air Space
2" Zip Sheathing R-9
2x6 @16" OC with R19 (6") Batt Insulation
5/8" Type X Gyp Bd.

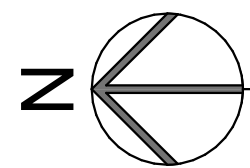
W2 Interior Corridor Wall
1 Hour STC 51
UL U305
5/8" Type X Gyp Bd on
1/2" Resilient Channel
2x6 @16" OC with R-21 (6") Batt Insulation on
5/8" Type X Gyp Bd
A bead of acoustical sealant shall be applied around the partition perimeter for sound control.
Assembly to be continuous from the floor to the deck above. On the first floor to the 2nd floor deck, and on the 2nd floor to the roof deck.

W3 Interior Unit to Unit Wall
1 Hour STC 51
UL U305
5/8" Type X Gyp Bd on
1/2" Resilient Channel
2x4 @16" OC with R-21 (6") Batt Insulation on
5/8" Type X Gyp Bd
A bead of acoustical sealant shall be applied around the partition perimeter for sound control.
Assembly to be continuous from the floor to the deck above. On the first floor to the 2nd floor deck, and on the 2nd floor to the roof deck.

W4 Typical Interior Partition:
5/8" Gyp Bd both sides on 2x4 @ 16" OC

W5 Interior CMU Wall:
5/8" Gyp Bd. on 1/2" Resilient Channels on 8" CMU

W6 Exterior stair Wall:
4" Brick with 1/2" Air Space
2" Zip Sheathing R-9
2x6 @16" OC with Batt Insulation R-21 with 5/8" Gyp Bd.

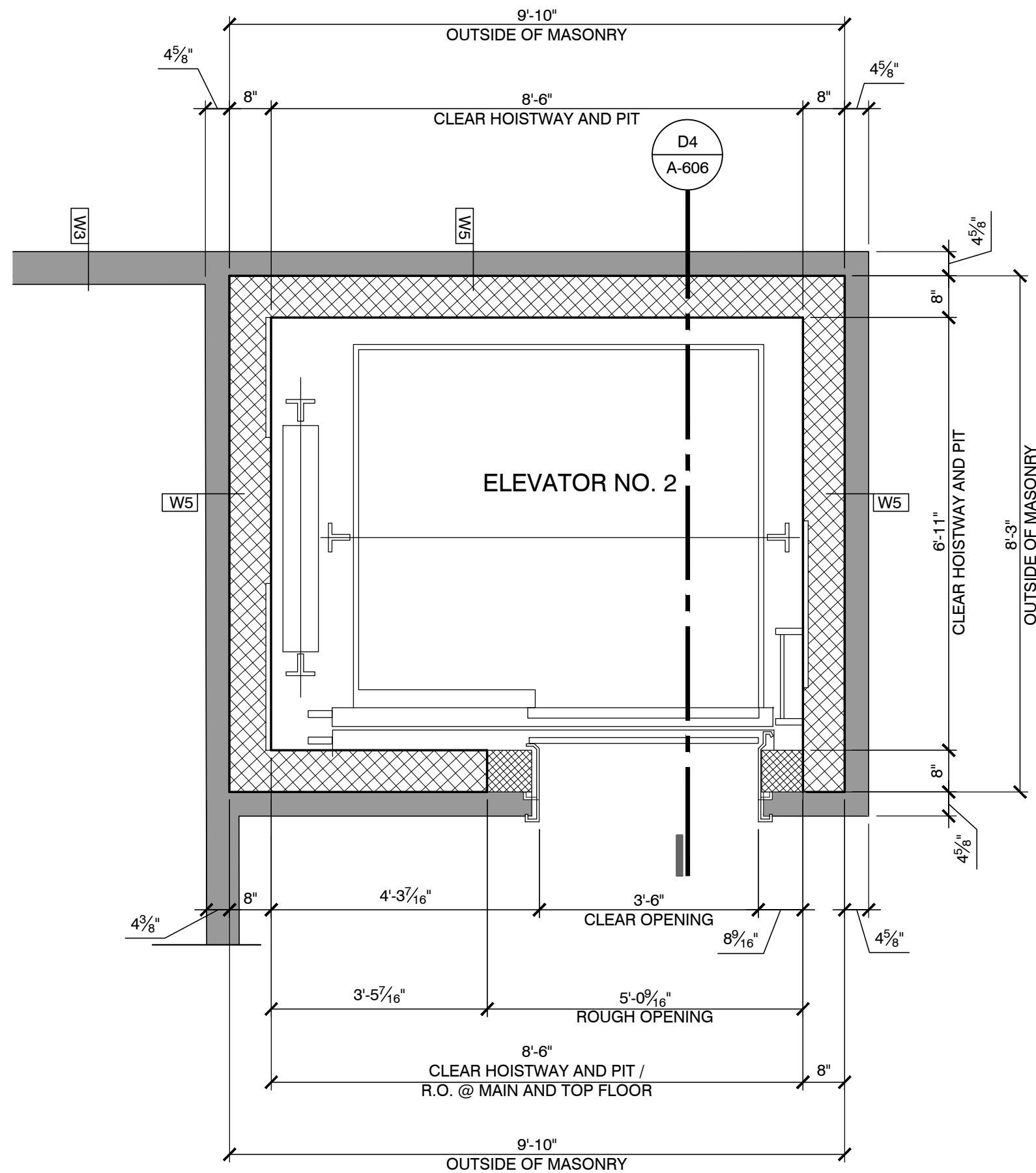


2nd Floor Plan

SCALE: 3/32" = 1'-0"

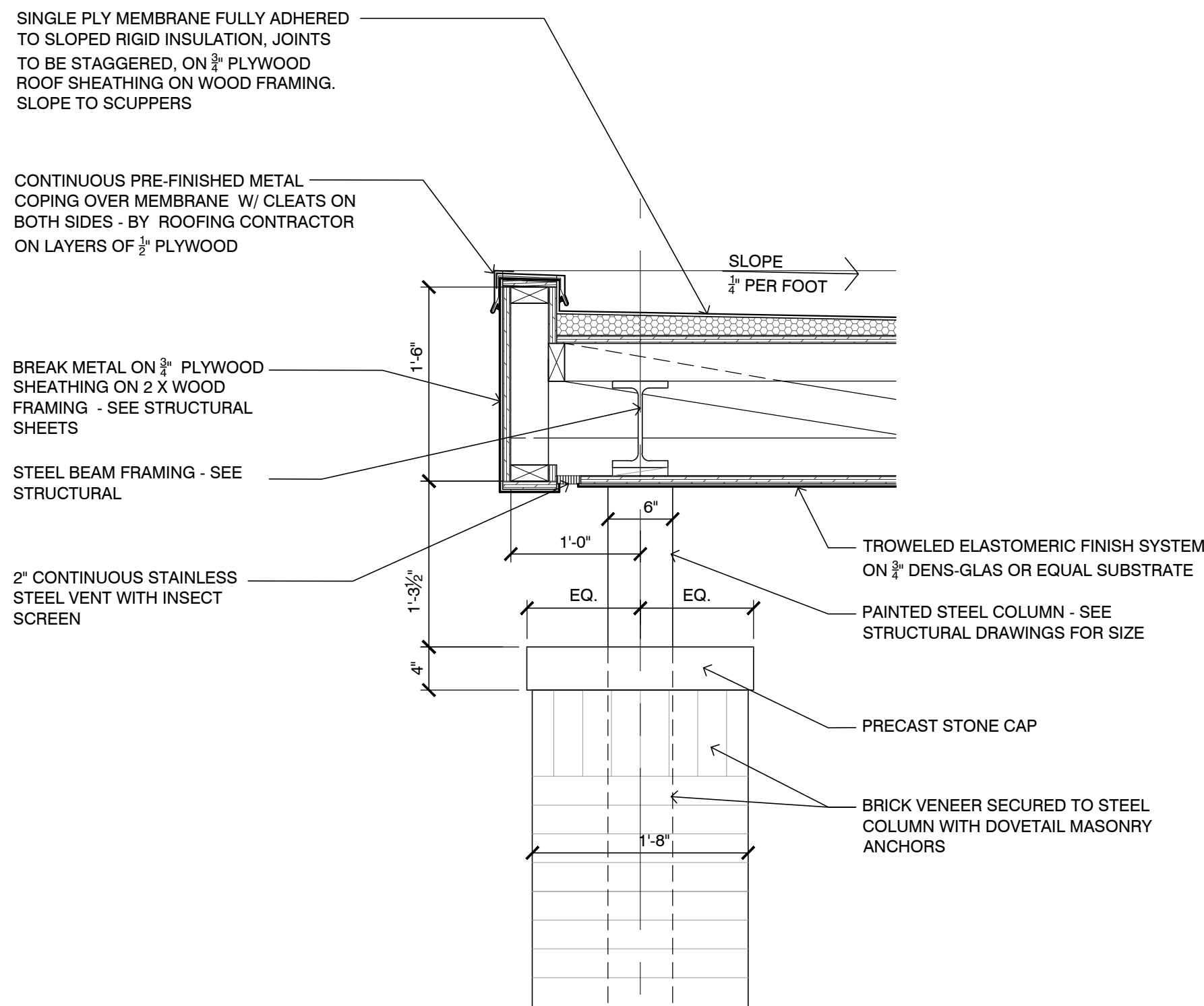
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Printed: Thursday, March 6, 2025

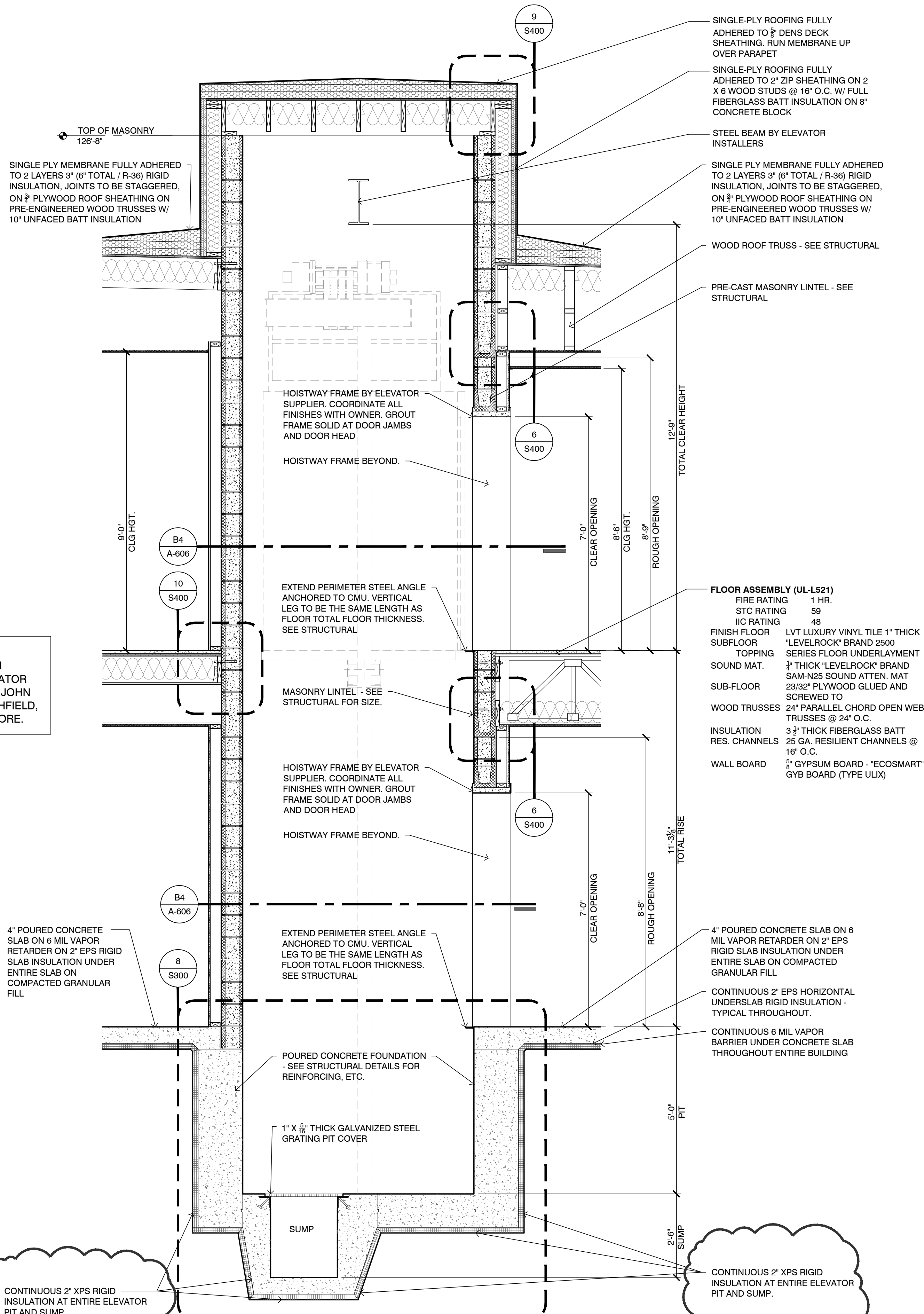


Elevator Plan
SCALE: 1/2" = 1'-0"

NOTE:
ALL ELEVATOR INFORMATION
INDICATED IS PER OTIS ELEVATOR
DRAWING NO. "PWBO 1 OF 2" JOHN
GRACE ARMS-NORTH, SOUTHFIELD,
MI. DATED 2/29/2024. GEN3 CORE.

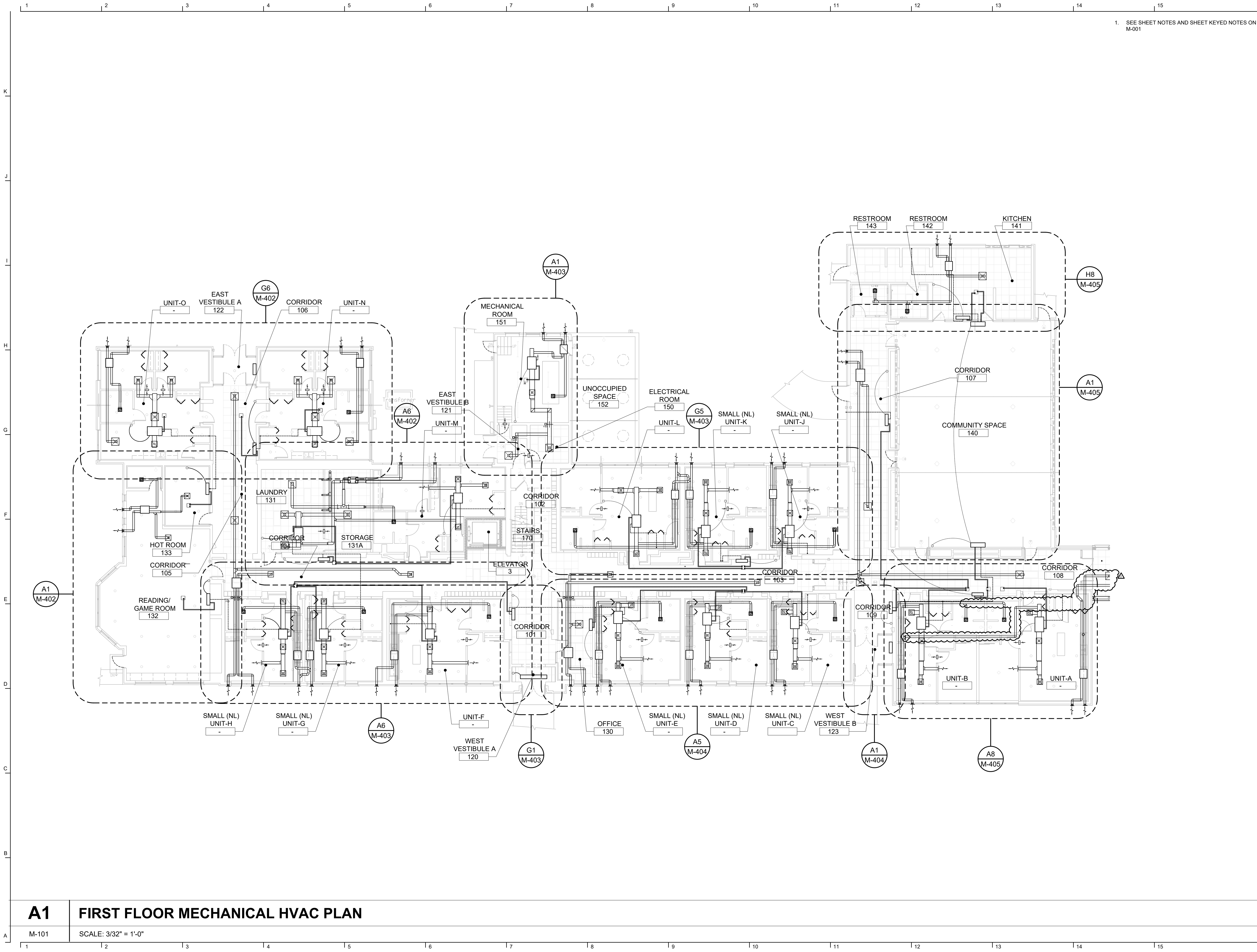


South Canopy Section
SCALE: 1" = 1'-0"



Elevator Section
SCALE: 1/2" = 1'-0"

3/5/2025 7:22:41 PM



1. SEE SHEET NOTES AND SHEET KEYED NOTES ON M-001

John Grace Arms
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Developed by
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28063 Vista Way, South Lyon, MI 48178

REGISTRATION SEAL



KEY PLANS

SHEET TITLE
**FIRST FLOOR
MECHANICAL HVAC
PLAN**

SCALE: AS NOTED

ISSUED FOR	DATE
PERMIT	10.20.24
BULLETIN 2	3.05.25

DRAWN BY

CHECKED

APPROVED

21026.00

FILE NO.

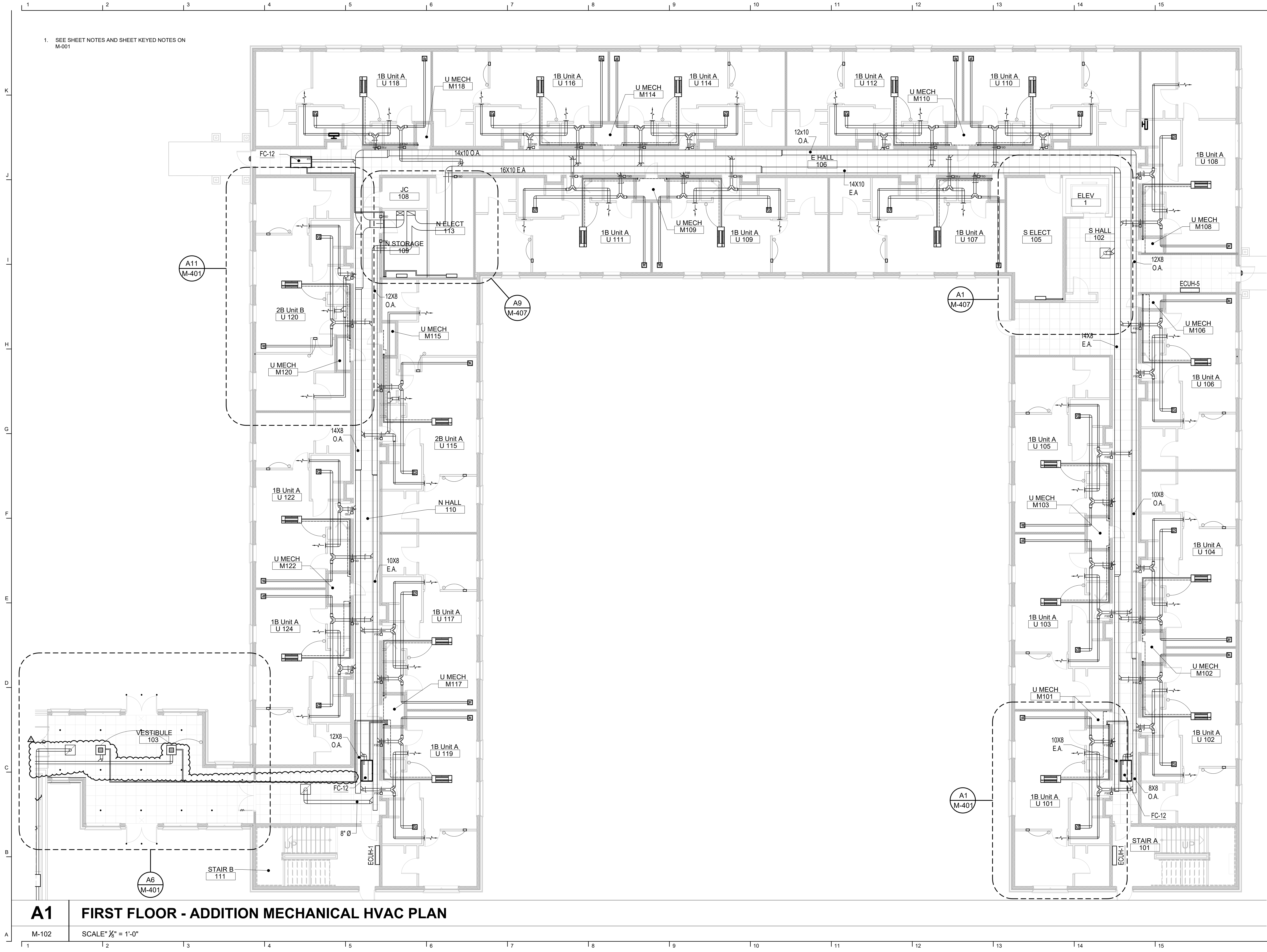
M-101

SHEET NO.

A1 FIRST FLOOR MECHANICAL HVAC PLAN

M-101 SCALE: 3/32" = 1'-0"

3/5/2025 7:23:12 PM



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A & A Engineering & Consulting
28862 Vista Way, South Lyon, MI 48178

REGISTRATION SEAL



KEY PLANS

SHEET TITLE
FIRST FLOOR - ADDITION MECHANICAL HVAC PLAN

SCALE: AS NOTED

ISSUED FOR	DATE
PERMIT	10.20.24
BULLETIN 2	3.05.25

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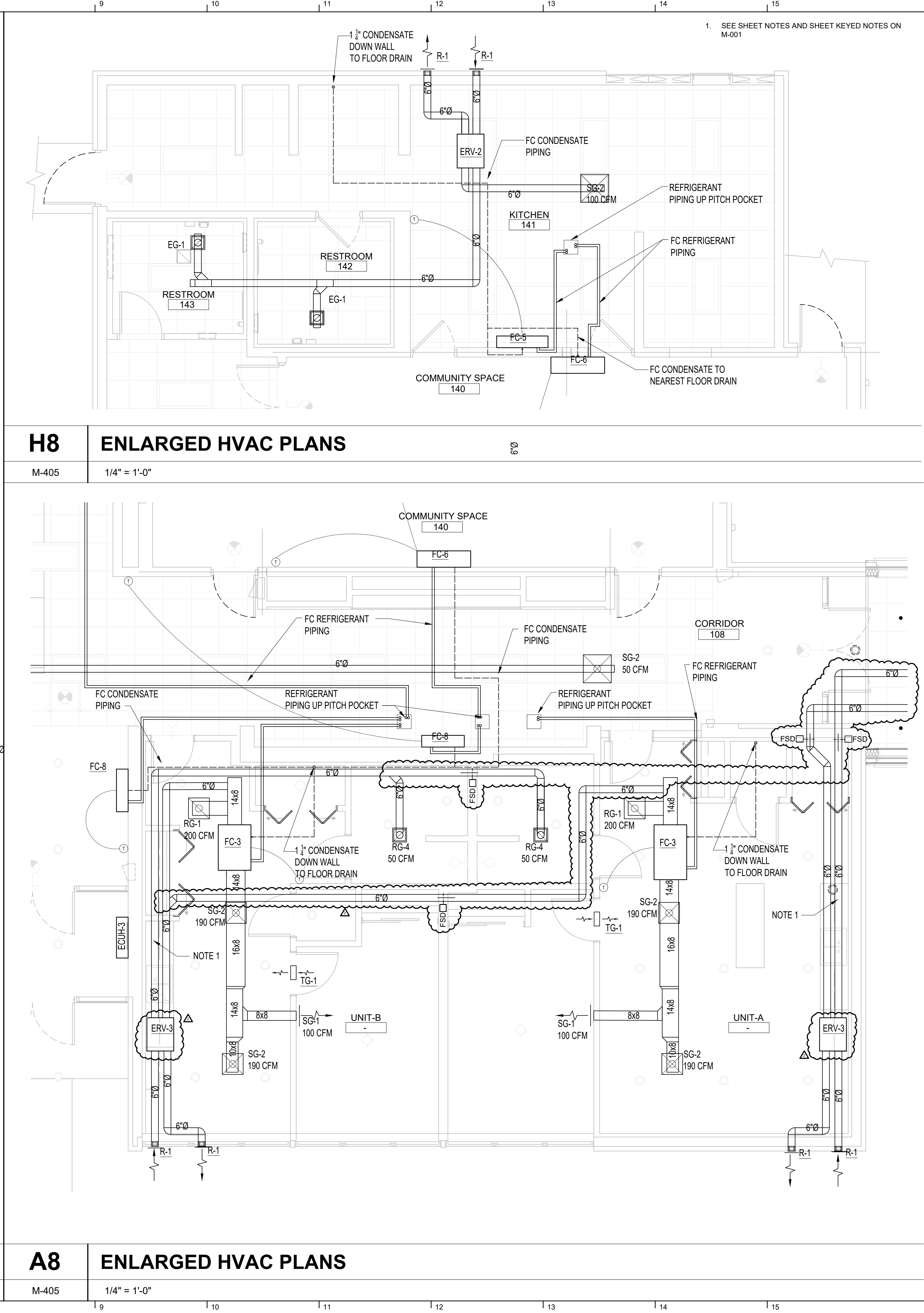
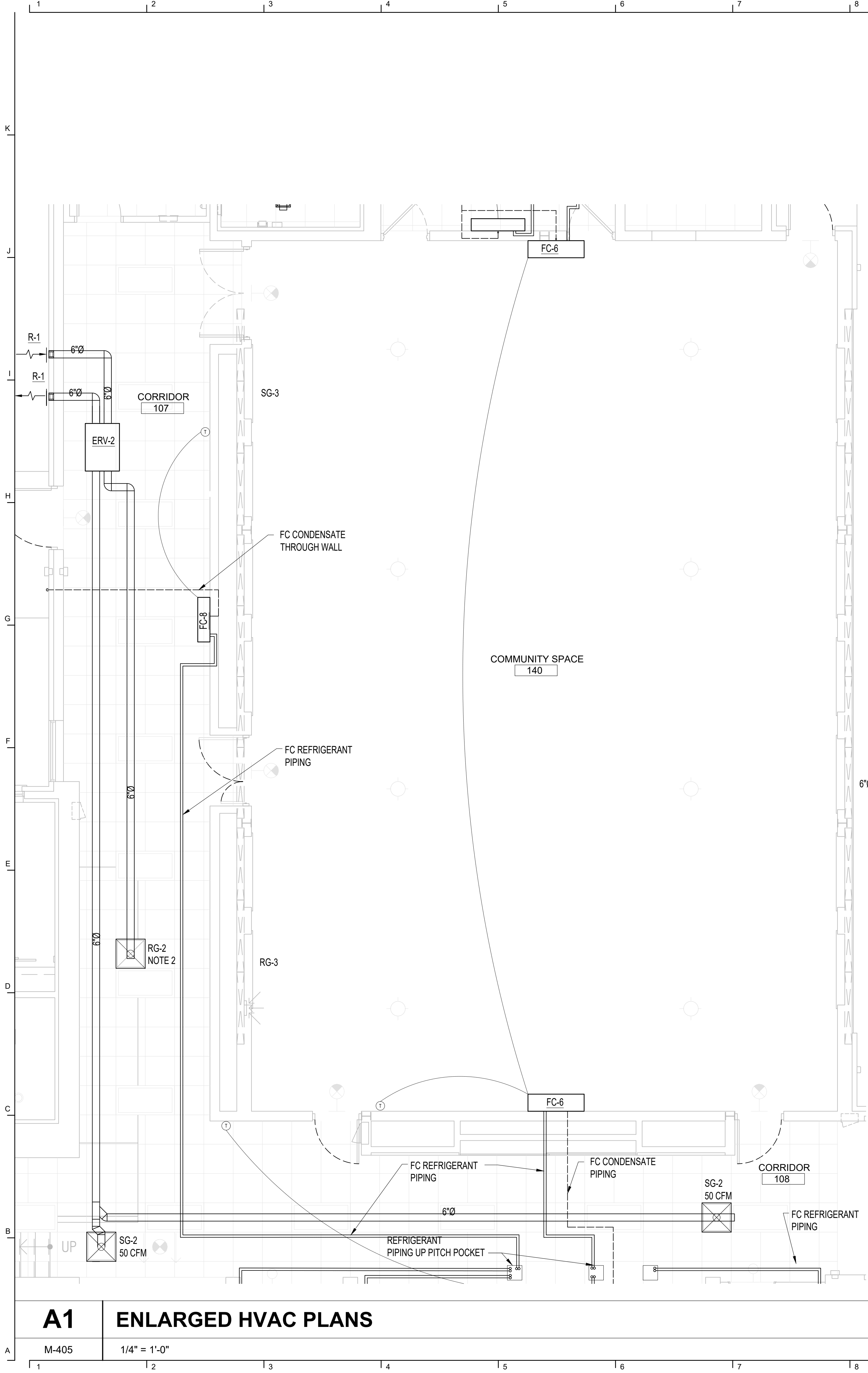
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FILE NO.

SHEET NO.

21026.00
M-102

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Developed by
John Grace Arms LDHA LLC

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REGISTRATION SEAL

STATE OF MICHIGAN

STEPHEN M. HENNARD
ENGINEER
No. 6201059975
LICENSED PROFESSIONAL ENGINEER

KEY PLANS

SHEET TITLE

MECHANICAL HVAC
ENLARGED PLANS

SCALE: AS NOTED

ISSUED FOR

DATE

PERMIT

10.20.24

BULLETIN 2

3.05.25

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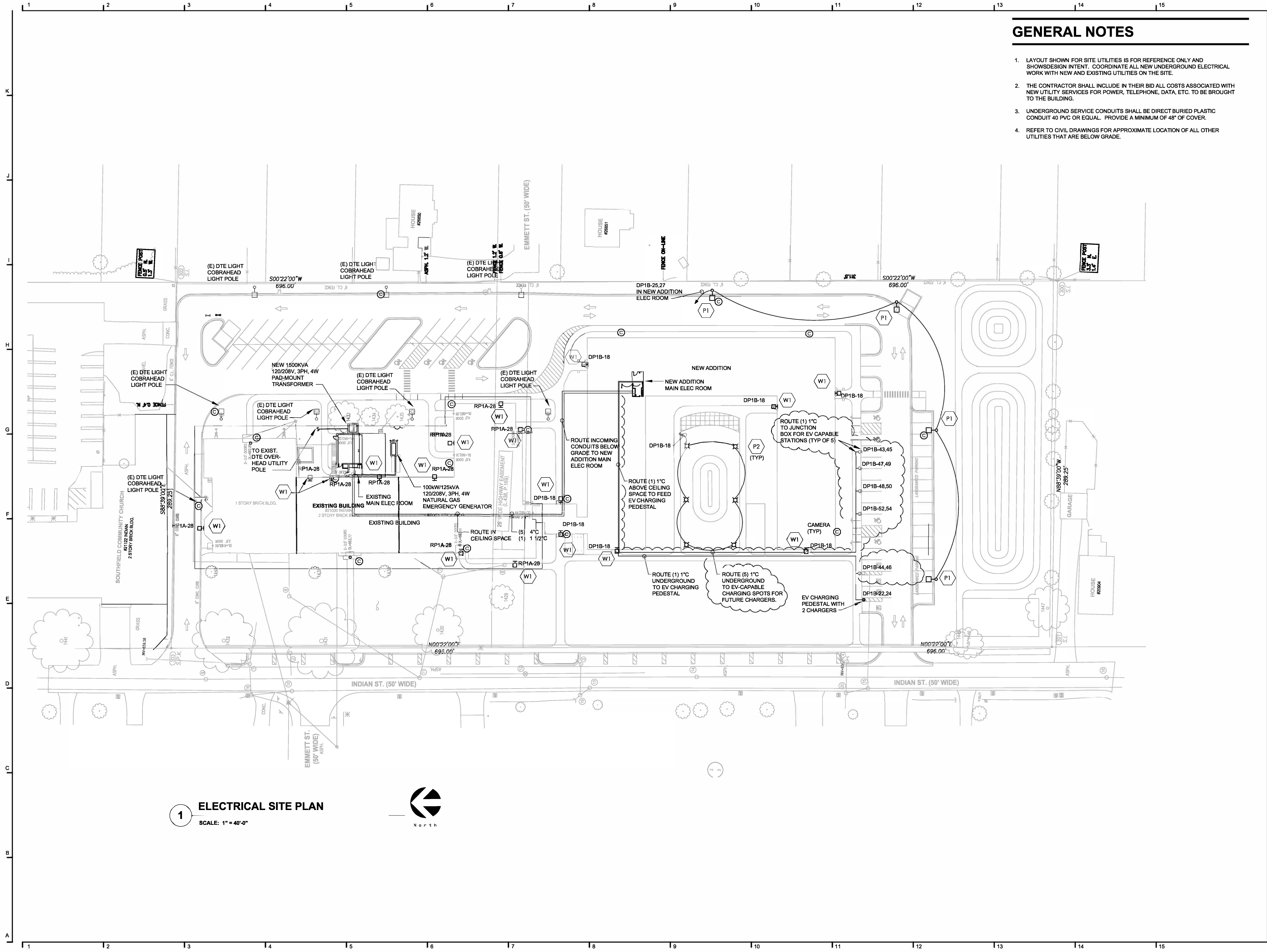
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M-405

FILE NO.

SHEET NO.



1 ELECTRICAL SITE PLAN
SCALE: 1" = 40'-0"



GENERAL NOTES

- LAYOUT SHOWN FOR SITE UTILITIES IS FOR REFERENCE ONLY AND SHOWS DESIGN INTENT. COORDINATE ALL NEW UNDERGROUND ELECTRICAL WORK WITH NEW AND EXISTING UTILITIES ON THE SITE.
- THE CONTRACTOR SHALL INCLUDE IN THEIR BID ALL COSTS ASSOCIATED WITH NEW UTILITY SERVICES FOR POWER, TELEPHONE, DATA, ETC. TO BE BROUGHT TO THE BUILDING.
- UNDERGROUND SERVICE CONDUITS SHALL BE DIRECT BURIED PLASTIC CONDUIT 40 PVC OR EQUAL. PROVIDE A MINIMUM OF 48" OF COVER.
- REFER TO CIVIL DRAWINGS FOR APPROXIMATE LOCATION OF ALL OTHER UTILITIES THAT ARE BELOW GRADE.

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Fax: 313-964-3233

A & A Engineering & Consulting
2008 Van Wyk, Southfield, MI 48033

CITY OF _____ STAMP

CITY STAMP
DO NOT PLACE ANYTHING IN THIS AREA

REGISTRATION SEAL



KEY PLANS

SHEET TITLE
ELECTRICAL SITE PLAN

SCALE: AS NOTED

ISSUED FOR	DATE
Permits	12.20.2024
Bulletin No. 1	02.19.2025
Bulletin No. 2	03.05.2025

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CHECKED MJ

APPROVED

21026.00

FILE NO.

ES-101

SHEET NO.

3PH PANELBOARD										SB1B		SCHEDULE																					
VOLTAGE: 208Y/120 MAINS: 1800 MCB										MOUNTING: SURFACE																							
BUS SIZE: 2000 AMP										FAULT DUTY 42k																							
No.		SERVES	LOAD (KVA)					BRKR	TRIP	P	PH			BRKR	LOAD (KVA)						SERVES	No.											
			LTG	RCPT	MTR	A/C	HTG				A	B	C		MISC	HTG	A/C	MTR	RCPT	LTG													
1		TP2B						800	3	X	A	B	C	3	600	2.4	0.8	48.1	0.0	2.0	1.7	DPI B	2										
3																											2.4	0.8	48.1	0.0	2.0	1.7	
5																												2.4	0.8	48.1	0.0	2.0	1.7
7		TP1B						800	3	X	A	B	C	3	150	0.7	0.0	0.0	3.0	0.2	0.3	EM1B (VIA ATS-B)	6										
9																											0.7	0.0	0.0	3.0	0.2	0.3	
11																												0.7	0.0	0.0	3.0	0.2	0.3
13																																	
15																																	
17																																	
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